



PROPERTY INSPECTION REPORT

Prepared For Exclusive Use By
Thomas and Mary Smith



For The Property Located At
1035 Presidio Drive, San Diego, California 92131

This inspection report is the narrative counterpart to the on-site checklist inspection report prepared at the time of the inspection, and is based upon the results of that on-site inspection report. It does not supersede the on-site inspection report but rather, complements it. Additional comments regarding deficiencies may be found in this report, including additional recommendations for further evaluation of a reported defect (which we urge you to follow up on). In the event of a conflict between the two reports as to findings and/or recommendations, or should you have any questions about the inspection results, please contact our office as soon as possible after the inspection - our inspector will be happy to explain or clarify the results of the inspection at your convenience.

NOTICE: The acceptance of this report by Client(s) acknowledge(s) the Client's consent to be bound by all terms and conditions of the Inspection Agreement, specifically but not limited to, the scope of the inspection and the consequences of failing to follow any recommendation for further evaluation.

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GENERAL INFORMATION

Property Address:	1035 Presidio Drive
Property City:	San Diego
Property State:	California

Inspection Date:	04.02.2018
Inspection Start Time:	09:00:00 AM
Inspection End Time:	12:00:00 PM
Inspection Weather:	Clear and Dry
Inspection Temperature:	75 degrees

Inspector's Name:	John Hastey. MCI
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Client's Name:	Thomas and Mary Smith
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Inspection Fee:	\$385.00
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Property Configuration:	Single Family
Property Furnished Status:	Furnished/Occupied
Property Lot Type:	Minor Slope

Persons Present:	Buyer, Buyer's Agent, Seller
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DEFINITION OF KEY WORDS USED IN THIS REPORT

NEEDS ATTENTION A system or component marked "NEEDS ATTENTION" means it failed to perform or function as intended or that it is in a sub-standard condition. "NEEDS ATTENTION" may also flag a safety concern or that something could not be fully inspected. In all cases, a "NEEDS ATTENTION" finding constitutes our recommendation to have the system or component evaluated by a competent and qualified contractor or specialist prior to close of escrow to (i) ascertain repair options and costs, and/or (ii) to rule out any issues with the component or system (a process that may lead to discovery of a material defect).

INFORMATIONAL Provides information about the system or component. This could be information as to its configuration (e.g. type of roof, size of water heater, etc); it could also inform you of the limited scope of the inspection of areas, components and/or systems of the structure.

SATISFACTORY Indicates the component or system is functioning as intended (sometimes stated as "functional"). It does not necessarily mean that the item is in good condition; only that no serious or material deficiency has been observed that prevents the system or component from performing as intended. Please also note that "SATISFACTORY" does not rule out any deficiency that may exist in areas that are visually obstructed or inaccessible.

NOT INSPECTED This means the system or component was not inspected (or only a partial or limited inspection was performed). Since your inspector is not responsible for deficiencies that may exist as to areas, systems or components flagged as not having been inspected, we recommend an additional inspection of such areas be performed by a specialty contractor prior to purchase.

GROUNDS & BUILDING EXTERIOR

The following are outside the scope of the inspection: surface drainage beyond 5 feet from the foundation * retaining walls greater than 6 feet in height * soil conditions, site drainage, geological stability * irrigation systems & landscape lighting systems * condition of detached buildings (e.g., sheds) * security alarm and intercom systems * propane tanks and related components * surface and underground drains * sump pumps * components subject to recalls * mechanically controlled gates * ponds, statues, fountains, and patio heaters * moving any personal item, equipment, plant life, soil, or debris that is obstructing access or visibility * reporting of cosmetic deficiencies.

GROUNDS

Driveway

NEEDS ATTENTION 1.1. There is cracking in the driveway up to 1/16" in width the cause of which we are unable to determine. The most common causes of this are relatively benign conditions (e.g. poor construction, age, roots).

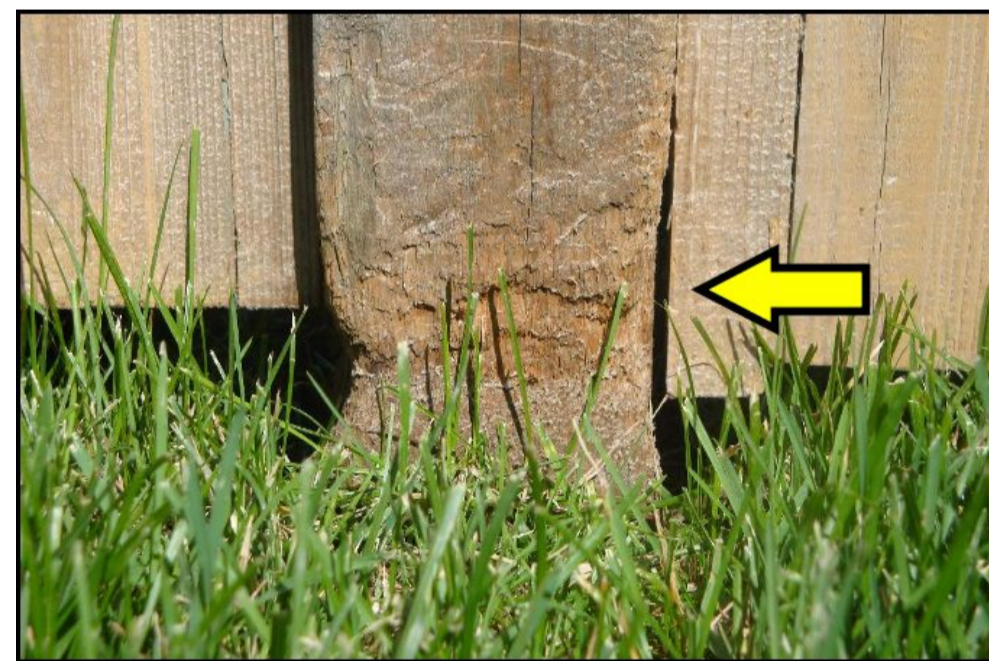
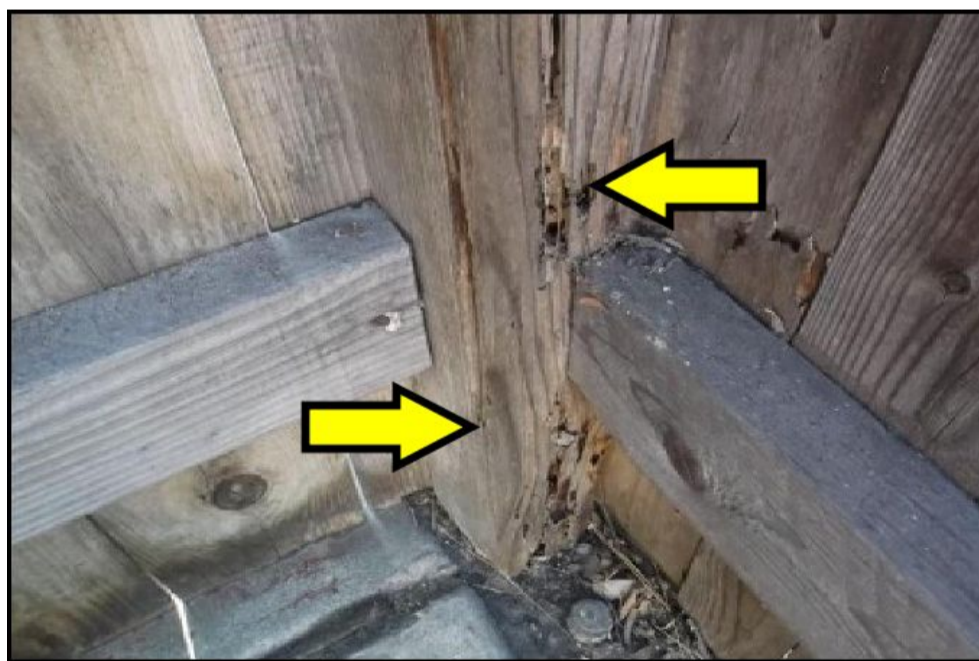


Walkways / Steps / Porch

INFORMATIONAL 1.2. The walkways are functional but have some minor hairline cracks that are more likely than not to be caused by benign conditions (e.g. normal shrinkage - minor settlement).

Fencing and Gating

NEEDS ATTENTION 1.3. Portions of the wood fence posts are rotted or in a deteriorated condition. This renders the fencing unstable and/or weakened. Location: multiple areas.



Retaining and Yard Walls

NEEDS ATTENTION 1.4. Two brick planter walls are in disrepair: the left side brick planter wall has a separation crack; the backyard planter wall is partially collapsed.



Visual Grade

INFORMATIONAL 1.5. In general terms, the grade of this property can best be described as follows: minor slope.

NEEDS ATTENTION 1.6. There are one or more planters, either above grade or at grade level, that are located adjacent to the structure. This can lead to moisture intrusion, mold growth and damage to the foundation in some cases. Note: further evaluation by a foundation contractor is recommended to rule out any moisture intrusion issues in visually inaccessible areas.



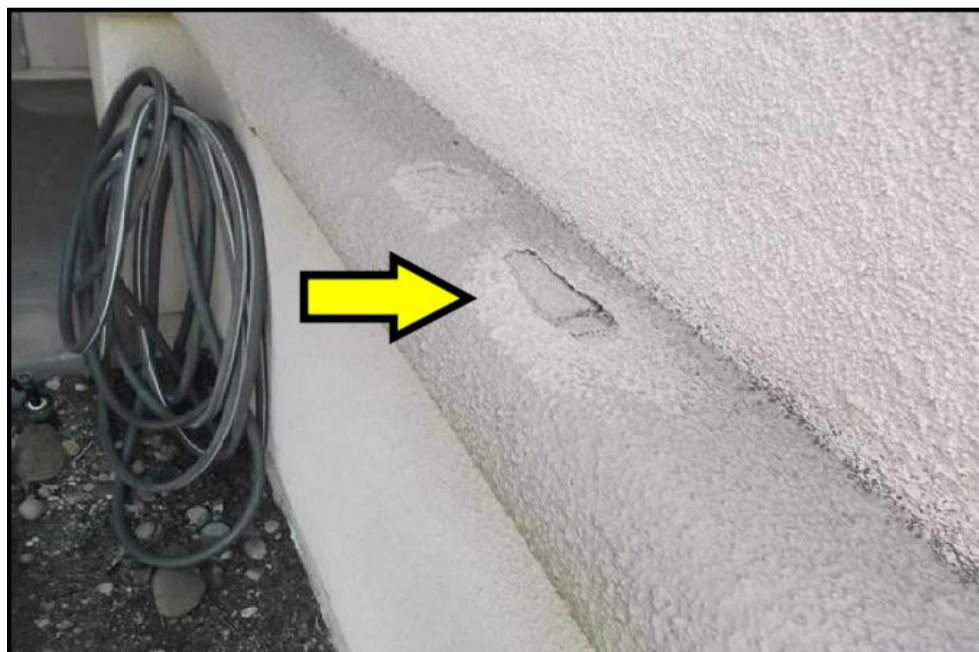
BUILDING EXTERIOR

Exterior Siding and Walls

NEEDS ATTENTION 1.7. There are cracks in the stucco finish that are up to 1/16" in width. Although stucco cracking of this nature may be the result of benign conditions (poor construction, age, minor settlement), the limited scope of a home inspection precludes the inspector from being able to rule out other causes of a potentially serious nature (e.g., unstable or expansive soils adversely impacting the structure).



NEEDS ATTENTION 1.8. The inspector observed areas of patching to the exterior stucco wall(s). Although stucco patching is not uncommon, we recommend you obtain an independent determination if possible as to what underlying stucco condition was addressed by the patching, and when the wall repair was performed, in order to rule out anything structurally significant about the patching. Location: Rear side.



Gutters / Fascia-Eaves

INFORMATIONAL 1.9. The structure was found to have gutters installed at the roof's drip edges.

NEEDS ATTENTION 1.10. There are two downspouts that discharge roof runoff water too close to the foundation. Keeping water away from the foundation and walls is important to prevent moisture intrusion damage to the home's foundation and surrounding components. **Note:** further evaluation is recommended since inspection for possible water damage to visually inaccessible portions of the structure is not within the scope of the inspection. Location: Left and rear sides.



Chimney Exterior

SATISFACTORY 1.11. The visually accessible portion of the chimney (or chimneys) at the exterior is in satisfactory condition.

Exterior Electrical

NEEDS ATTENTION 1.12. There is romex wiring at the exterior of the structure that is not rated (i.e. improper) for exterior use or, because of its location, is required to be run through approved conduit. Location: Right side.



NEEDS ATTENTION 1.13. The white PVC conduit (pipe w/ wire inside) installed to the left of the rear deck and patio area is not rated for exterior use and should be replaced with exterior rated conduit.



NEEDS ATTENTION 1.14. The outlet at the exterior of the structure has no GFCI protection. We strongly recommend that GFCI protected receptacle outlets be installed at all exterior locations. Location: the Left side.

Exterior Waste / Drain Lines

SATISFACTORY 1.15. The visually accessible portions of the exterior waste or drain lines were found to be in satisfactory condition.

Patio

INFORMATIONAL 1.16. The patio configuration is an open patio area. There is also a covered patio area.

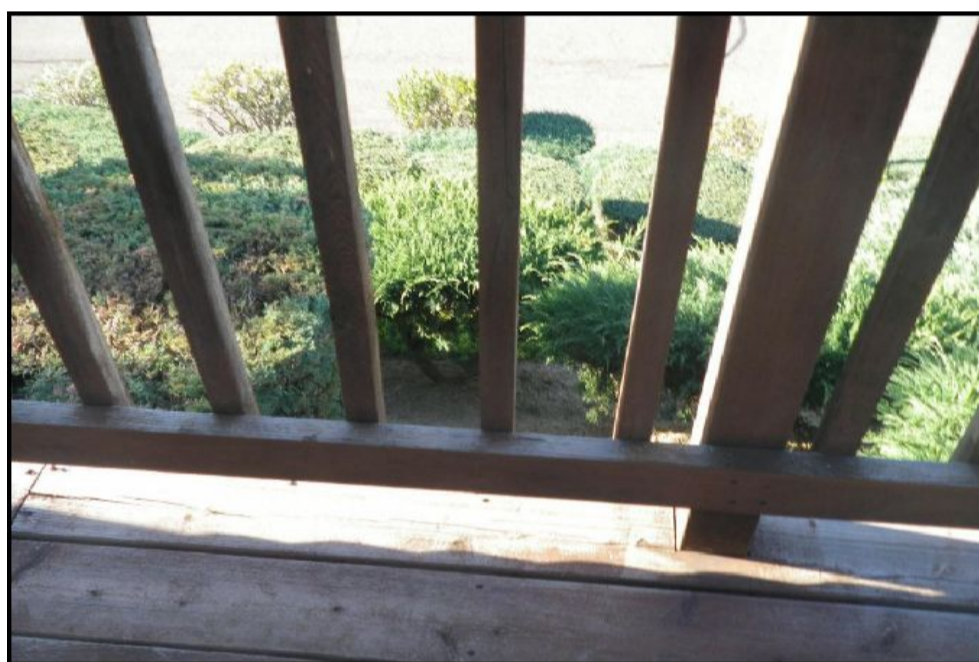
SATISFACTORY 1.17. The visible portions of the patios appear to be in satisfactory condition.

Decks and Balconies

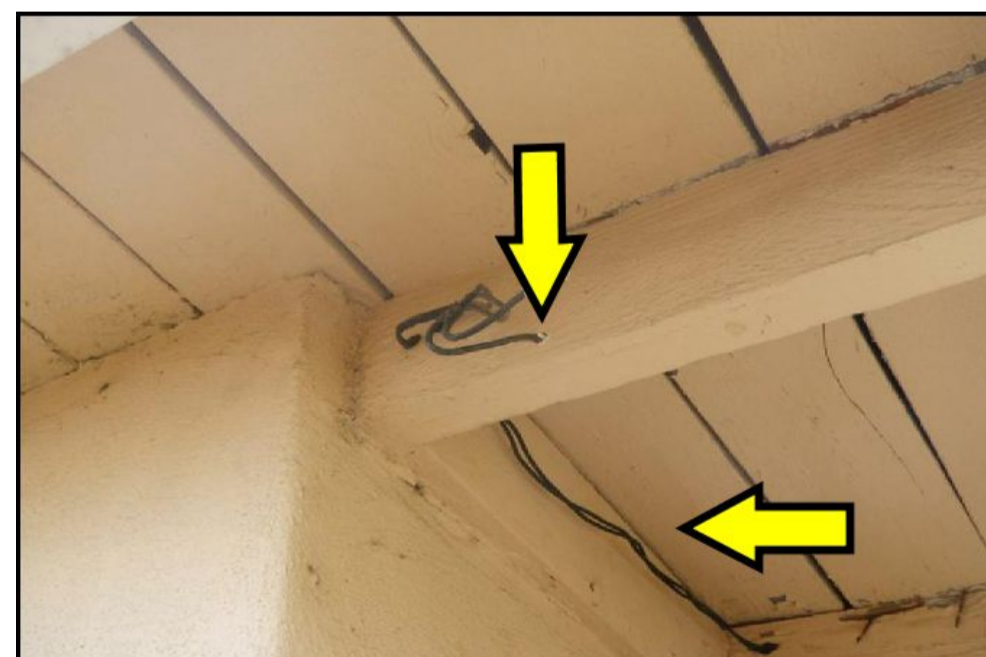
NEEDS ATTENTION 1.18. The deck framing is deficient. One of the posts supporting a beam is leaning and failing to provide the necessary support for the deck framing. A qualified licensed contractor should be consulted for repair options and costs.



NEEDS ATTENTION 1.19. The deck hand railing has openings in it greater than 4" wide. We recommend correction of this condition to ensure the safe use of the deck/balcony (for child safety reasons). Location: Left side.



NEEDS ATTENTION 1.20. There is romex wiring in the deck/balcony in two different areas that is not rated (not proper) for exterior use. We recommend replacing this with a proper exterior wiring method.



FOUNDATION

The following are outside the scope of the inspection: removal of any floor coverings; change in floor elevation from one room to the next * termite or rodent infestation * entry of inaccessible crawl space areas * investigating for presence of radon, asbestos, lead or any non-fungi environmental hazard * evaluating sufficiency of existing crawl space ventilation * evaluating sump pumps * crawl space water/gas valves * geological stability * soils conditions.

RAISED FOUNDATION

Initial Comments

INFORMATIONAL 2.1. The location(s) of the access to the crawl space is at at the right side of the residence.

General Crawl Space Findings

NEEDS ATTENTION 2.2. Some efflorescence was observed on the surface of the stem wall. and the soil. Efflorescence is a white powdery substance which forms on concrete-masonry surfaces when exposed to moisture. Although commonly found, this condition has been known to deteriorate the concrete/masonry foundation wall(s). Further evaluation by a foundation contractor is recommended should you wish to rule out the presence of any moisture intrusion problems (e.g., damage, improper lot drainage, damp conditions, insufficient ventilation).



Wood Framing and Supports

INFORMATIONAL 2.3. The inspector confirmed that the framing sill plates were bolted to the foundation concrete stem walls. Bolting of the sill plate to the foundation provides a measure of seismic stability in the event of an earthquake.

NEEDS ATTENTION 2.4. The wood posts supporting the sub-floor framing are not strapped to the piers nor to the support beams. Although this may not have been required at the time the house was constructed, posts should be properly strapped (connected) to increase stability and help reduce damage in the event of an earthquake. We suggest a foundation contractor further evaluate the foundation components for repair recommendations and costs.

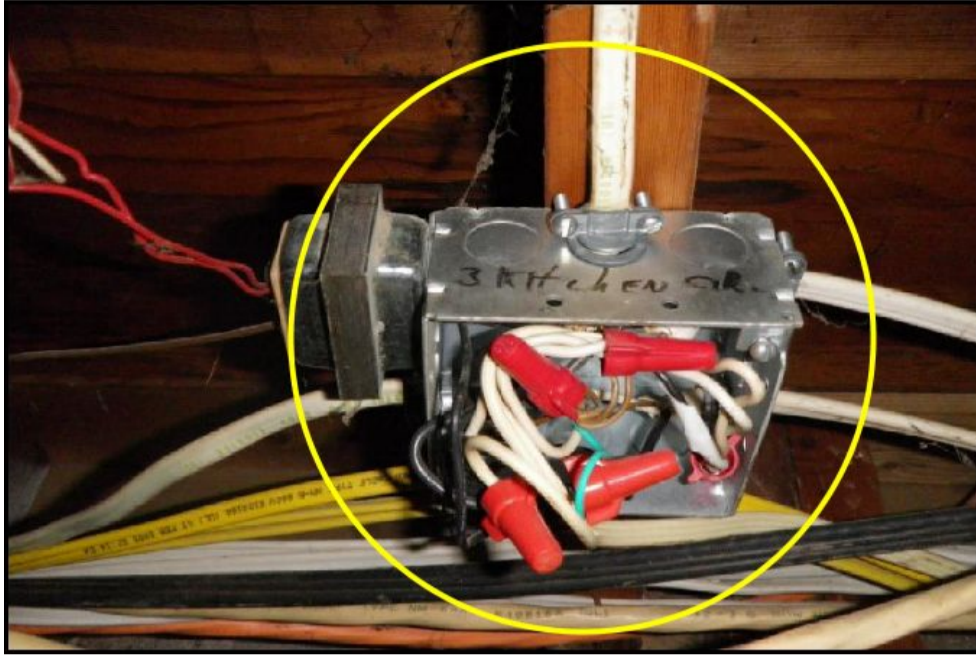


Plumbing & Ducts in Crawl Space

SATISFACTORY 2.5. The visible crawl space plumbing lines (drain and water supply lines) and the HVAC ducting appear to be in satisfactory condition.

Electrical in Crawl Space

NEEDS ATTENTION 2.6. There is an electrical junction box in the crawl space lacking a cover plate. A cover plate should be installed as it provides protection from shock hazards and protects the wiring from the surrounding environment.



ROOF

The following are outside the scope of the inspection: inaccessible areas due to height, potential for roof damage (tiled roofs) * walking on a roof that is dangerous (too steep/high) or which will cause damage (tiles) * whether the roof is free of leaks * testing of gutters and downspouts * probing for termite damage * solar heating & electrical systems * antennas and lightening arrestors * lifting roof tiles shingles/tiles. **Please note:** a further roof evaluation by a licensed roofing contractor is recommended in the any of the following cases: (i) a roof deficiency is noted; (ii) the roof inspection is from the ground or from a ladder (consequently, a limited inspection) and/or (iii) if you wish to rule out any possibility of a roof leak (which our visual inspection is unable to accomplish).

ROOF - PRIMARY STRUCTURE

General Comments

INFORMATIONAL 3.1. The primary structure has a sloped (pitched) roof.

INFORMATIONAL 3.2. The sloped (aka "pitched") roof portion of the residence is comprised of tiles (clay).

INFORMATIONAL 3.3. The roof was observed from areas of the roof surface that could be walked on without breaking the roof tiles.

Sloped Roof

NEEDS ATTENTION 3.4. Cracked tiles were observed at the top rear section of the roof. Additionally, several "cap" tiles have become dislodged from the top of the roof. Recommend repairs as these conditions increase the roof's susceptibility to leaks. Approx. number: 5-10.



Flashings

SATISFACTORY 3.5. The roof flashing, where visually accessible, appears to be in satisfactory condition.

Skylights

NEEDS ATTENTION 3.6. The inspector found the skylight to have been constructed or installed in a sub-standard manner (excessive use of mastic). Skylights that fail to conform to construction standards enhance the likelihood of leakage.



ATTIC

The following are outside the scope of the inspection: rodent and pest infestation * operation of electric vent fans * electrical and plumbing deficiencies obscured by insulation, ducts and/or framing * inspection of areas where access is blocked or limited due to attic framing and/or the HVAC * evaluating sufficiency of existing attic space ventilation * energy efficiency of the insulation.

ATTIC

Attic Framing

INFORMATIONAL 4.1. AS TO DWELLINGS WITH ATTIC SPACE: A pest control operator is a person - required to be licensed by the State - to identify infestations or infections and perform pest control work. Countywide is not a licensed pest control operator that provides this service. While the inspector will flag rodent damage to the attic's electrical, plumbing, HVAC and framing components that are *not obscured by insulation and are in readily accessible areas of the attic*, we recommend a pest control operator's inspection of the attic be performed prior to close of escrow should you wish to rule out any existing or potential pest (e.g. rodent) infestation issues in the attic.

NEEDS ATTENTION 4.2. There are moisture stains and/or sufficient evidence of prior roof leakage on the underside of the roof. Stains are indicative of a current or prior roof leak. Since your inspector cannot determine if the leak that caused the staining has been remedied, further evaluation of the roof by a roofing contractor is advisable.



Ventilation

SATISFACTORY 4.3. Ventilation within the attic appears to be satisfactory and the accessible vents appear properly screened.

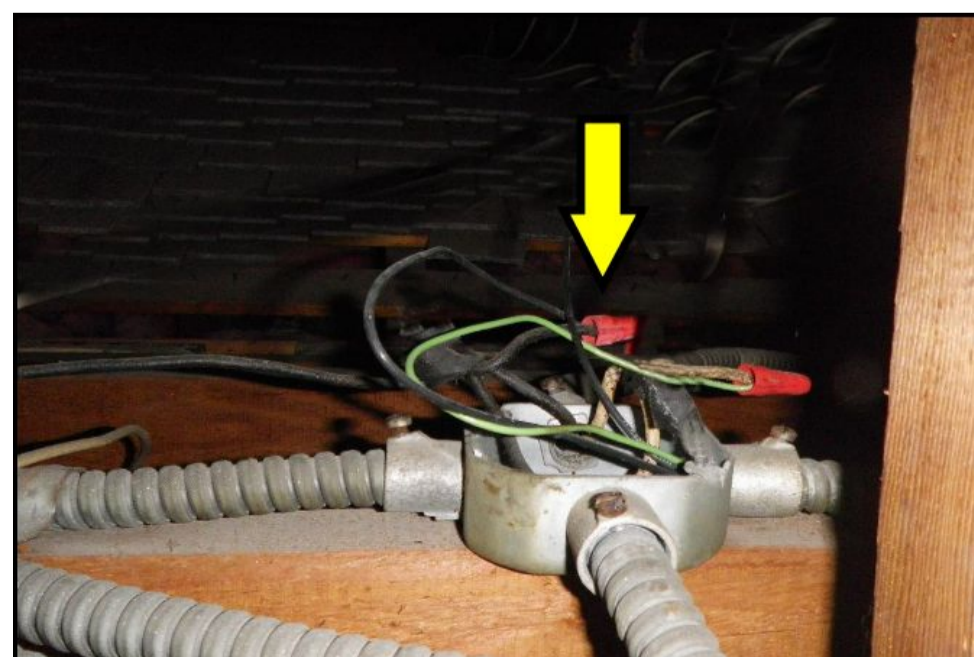
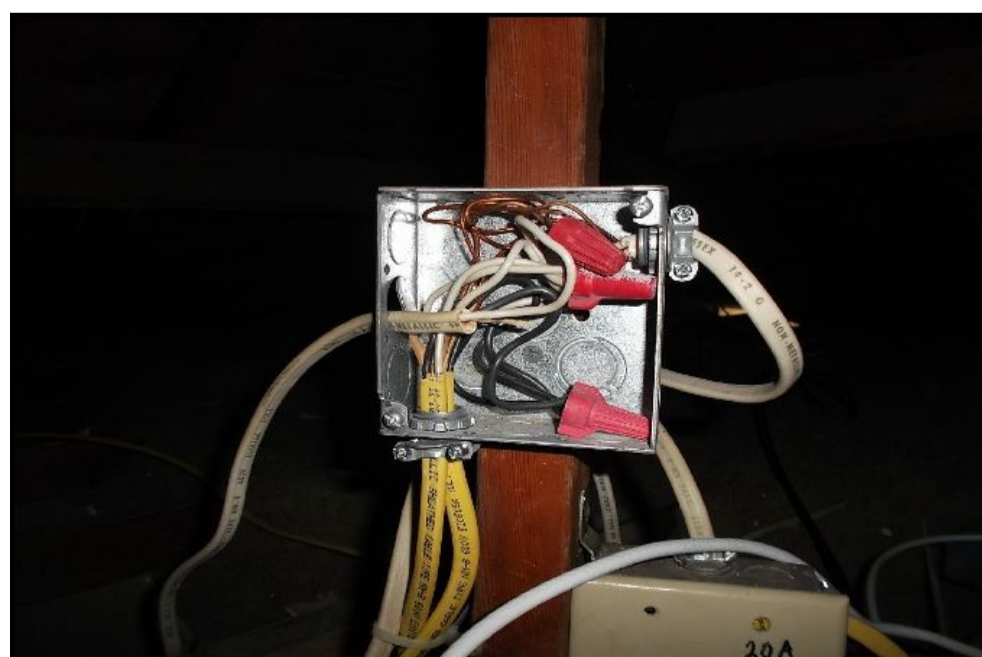
Insulation

INFORMATIONAL 4.4. The inspector observed insulation in the attic up to approximately 6 inches in depth, consisting of fiberglass batt type insulation.

SATISFACTORY 4.5. As to the visually accessible areas of the attic floor, the insulation was found to be adequate in thickness and in satisfactory condition.

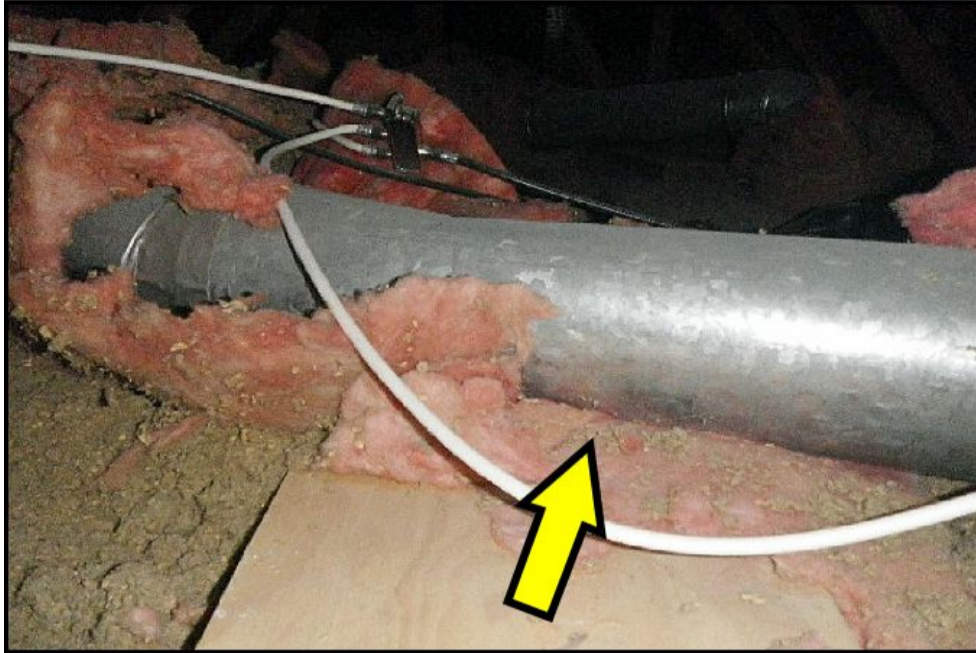
Attic Wiring

NEEDS ATTENTION 4.6. The inspector observed two open electrical junction boxes in the attic that should be sealed so that any arcing or sparking is contained within the box.



HVAC Ducts & Venting

NEEDS ATTENTION 4.7. Some portions of the air distribution ducts in the attic have missing insulation. Further evaluation may include a recommendation for repair or replacement to enhance energy efficiency of the HVAC system, among other reasons.



GARAGE OR PARKING STRUCTURE

The following are outside the scope of the inspection: the exclusions listed under the Foundation, Roof, Attic and Interior Rooms sections of this Report.

GARAGE INTERIOR

General Comments

INFORMATIONAL 5.1. All of the Garage's visible systems and components were inspected (where applicable, the Floor, Walls, Ceiling, Doors, Windows, Electrical, Garage Door, and Garage Door Opener) and found to be **in satisfactory condition with the exception of the items noted below.**

Exposed Framing / Roof Underside

NEEDS ATTENTION 5.2. The inspector found stains on the underside of the garage roof which appear to be water related. A roofing contractor's further evaluation is recommended should you wish to rule out any existing moisture intrusion issues.



Slab / Foundation

INFORMATIONAL 5.3. There are hairline cracks (less than 1/16" in width) in the garage concrete floor that are typically seen in concrete floors and appear to be normal settlement and/or shrinkage cracks.

SATISFACTORY 5.4. Where accessible and exposed to view, we noted no significant abnormalities with the garage concrete slab floor or the perimeter stem walls of the garage at the time of the inspection.

Firewall

SATISFACTORY 5.5. Where visible, the firewall - the wall separating the house interior from the garage - appears to be in satisfactory condition.

Garage Doors and Windows

NEEDS ATTENTION 5.6. The side door to the exterior is deficient in two respects: (i) it binds against the jamb; and (ii) the door handle and lock mechanism are loose. These should be services for proper function and for security reasons.

NEEDS ATTENTION 5.7. The locking and/or latching hardware at the garage window is inoperable (stuck in one position).

Vehicle Garage Doors

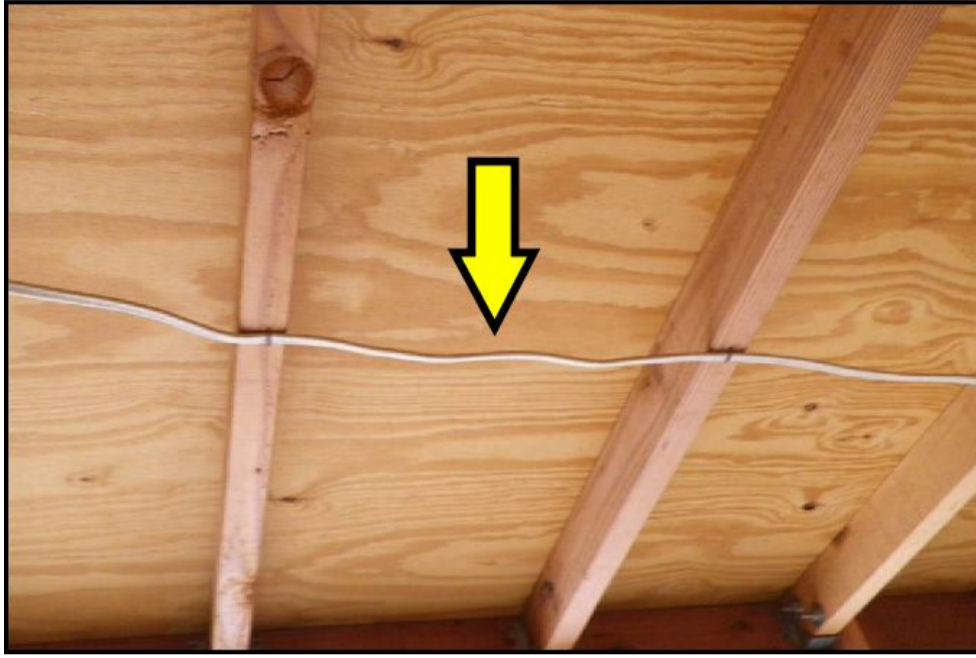
SATISFACTORY 5.8. The vehicle garage door was found to be in satisfactory condition.

Garage Door Opener

SATISFACTORY 5.9. The automatic garage door opener and auto reversing feature functioned satisfactorily when tested.

Garage Electrical

NEEDS ATTENTION 5.10. There is overhead wiring that is spanning large open spaces and/or is not properly secured to framing components. Proper securing of wiring is necessary to keep it from being snagged and pulled by yard tools or sports equipment in the garage (a potential safety hazard).



NEEDS ATTENTION 5.11. There is an electrical outlet in the garage missing the cover plate.



LAUNDRY

The following are outside the scope of the inspection: moving or operating the washer or dryer * reporting the absence of 240v dryer outlets * exclusions listed under the plumbing, electrical and interior sections of this Report and our Inspection Agreement.

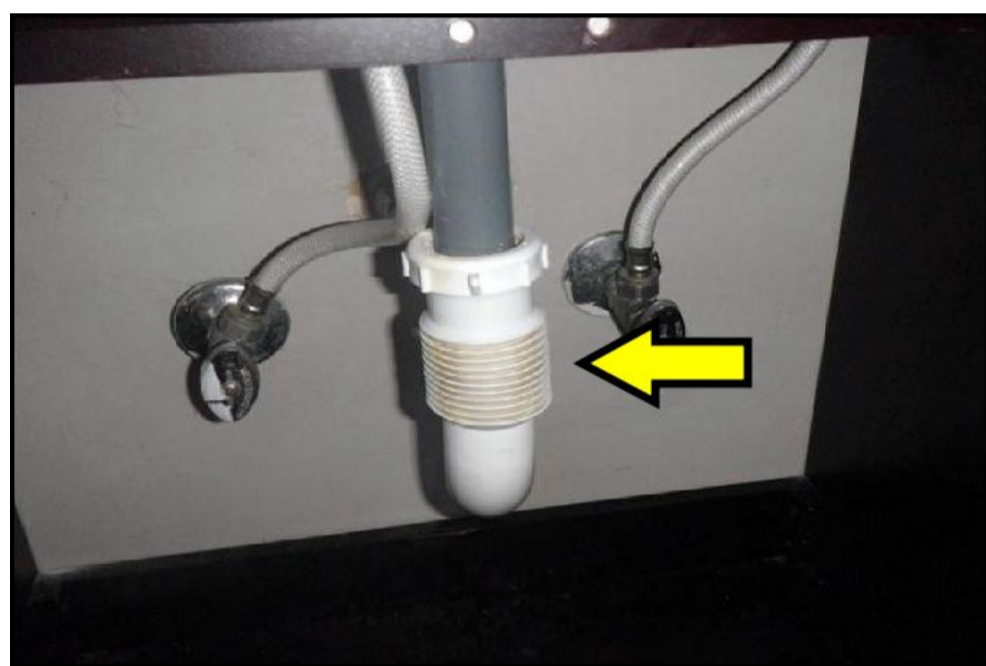
LAUNDRY PROVISIONS

General Comments

INFORMATIONAL 6.1. All of the visually accessible Laundry areas and provisions were inspected (where applicable, the Floors, Walls, Ceiling, Doors, Windows, Plumbing, and Electrical) and found to be **in satisfactory condition except for the item(s) noted below.**

Laundry Plumbing

NEEDS ATTENTION 6.2. The drain line and trap under the Laundry sink is an incorrect corrugated plastic type that should be replaced with a smooth bore drain pipe to help prevent blockage.



Laundry Appliance Electrical

INFORMATIONAL 6.3. The Laundry area is all electric - there is no gas line to the laundry room. If you intend to use a gas fired appliance (e.g. dryer), you will need to route a gas line to this room.

Gas Line - Venting - Dryer

NEEDS ATTENTION 6.4. There are no provisions to vent the dryer to the exterior; a dryer exhaust duct will need to be installed.

Miscellaneous Laundry Findings

NEEDS ATTENTION 6.5. There is an area of the Laundry area floor that displays an unusual temperature difference in the viewfinder of the inspector's infrared camera (also known as a Thermal Imaging Camera). These cameras are able to detect areas where the surface temperature is unusually cooler than the surrounding surfaces. One possible cause of this cooler temperature is the presence of moisture behind the surface which infrared cameras are designed to be highly sensitive to. While the inspector cannot be 100% sure that moisture is the cause of this temperature anomaly, we recommend you have this condition further evaluated (e.g. have a contractor probe this location with a moisture meter).



PLUMBING

The following are outside the scope of the inspection: operating the main or interior water and gas supply shut off valves * evaluation of water softener or purification systems * testing of solar water heater systems * lighting pilot lights * testing floor drains * evaluating instant hot water systems * determining proper sizing of drain or water supply lines * evaluation of propane tanks and their components * evaluation of waters wells, private water supply systems and private sewage systems (e.g. septic tanks) * testing shower pans for leaks. **Please note:** if cast iron plumbing exists, we recommend a camera inspection of the main line be performed in order to rule out any issues with this older type plumbing system.

WATER & FUEL SUPPLY

General Comments

INFORMATIONAL 7.1. Where exposed to view, the water main pipe material entering the structure is copper.

Water Supply - Shut Off Valve - Regulator

INFORMATIONAL 7.2. The water main shut off valve is located at the Front side of the structure.

INFORMATIONAL 7.3. The water pressure was tested and found to be 60 psi. This is considered to be within the normal range of between 40 and 80 psi.

SATISFACTORY 7.4. The main shut off valve, pressure regulator and the visible portion(s) of the water supply line entering the structure were found to be satisfactory.

Fuel Supply

SATISFACTORY 7.5. The visible portions of the gas pipes appear to be in satisfactory condition.

WATER HEATER

Water Heater Components

INFORMATIONAL 7.6. The water heater tank is located in the utility room. The tank is a Bradford White model 40-gallon tank. The tank is in good condition and shows no signs of rust or corrosion. The tank is properly vented through the roof.

NEEDS ATTENTION 7.7. The inspector found corrosion at one or both of the water supply fittings of the water heater tank, which may indicate prior leakage (and/or which may become the site of subsequent leakage at these fittings).

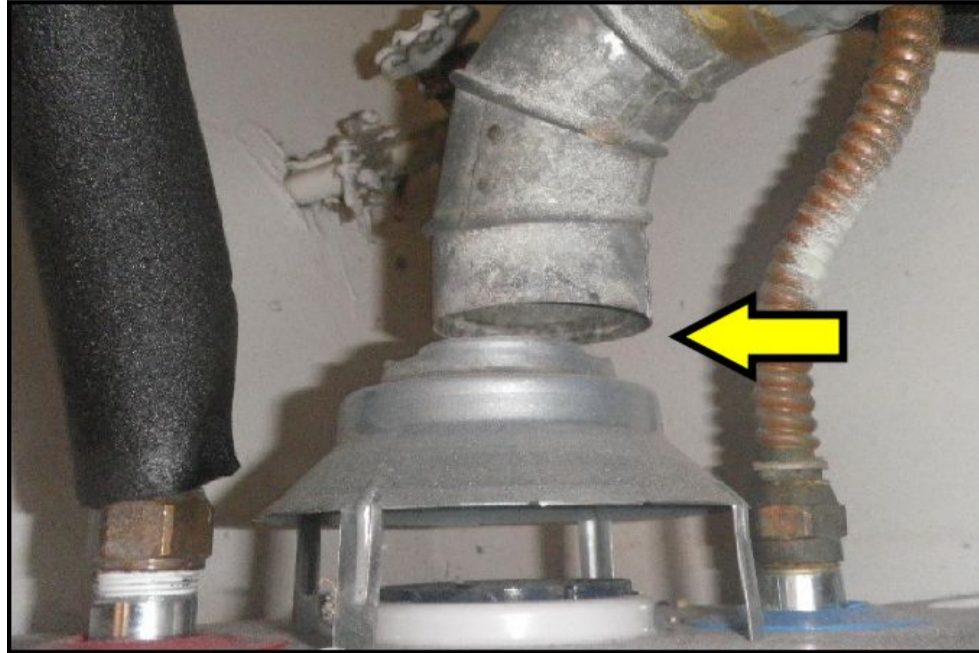


NEEDS ATTENTION 7.8. The drain line from the temperature and pressure relief valve is improper (is made of pvc pipe). For safety reasons, it should be replaced with a minimum 3/4" copper pipe.



Water Heater Venting

NEEDS ATTENTION 7.9. The water heater exhaust vent pipe is not securely fastened or supported, a condition that could hinder or preclude the proper venting of water heater exhaust fumes. Description: Poor connection between W.H. vent hood and vent pipe.



WATER HEATER #2

Water Heater #2 Components

INFORMATIONAL 7.10.

There is a second, approximate 10 year old, tankless electric water heater located in the hall closet.



SATISFACTORY 7.11. This water heater was functioning satisfactorily at the time of the inspection, with no evidence of prior or active leakage observed.

ELECTRICAL

The following are outside the scope of the inspection: making any determination as to whether power supplied to rooms and/or components is adequate for the existing or intended use of the structure and/or components * load bearing or voltage/amp capacity testing * evaluation of intercom, telephone, cable, security, video and low voltage systems * removal of switch and outlet cover plates * evaluation of heat detectors, carbon monoxide detectors, built in vacuum equipment, motion sensor devices * determining the adequacy / efficiency of the overall electrical system * troubleshooting any deficiency with the electrical system, including tripped breakers * resetting tripped breakers * evaluating electrical equipment found dismantled or disconnected.

ELECTRICAL MAIN & SUB-PANEL COMPONENTS

Electrical Service

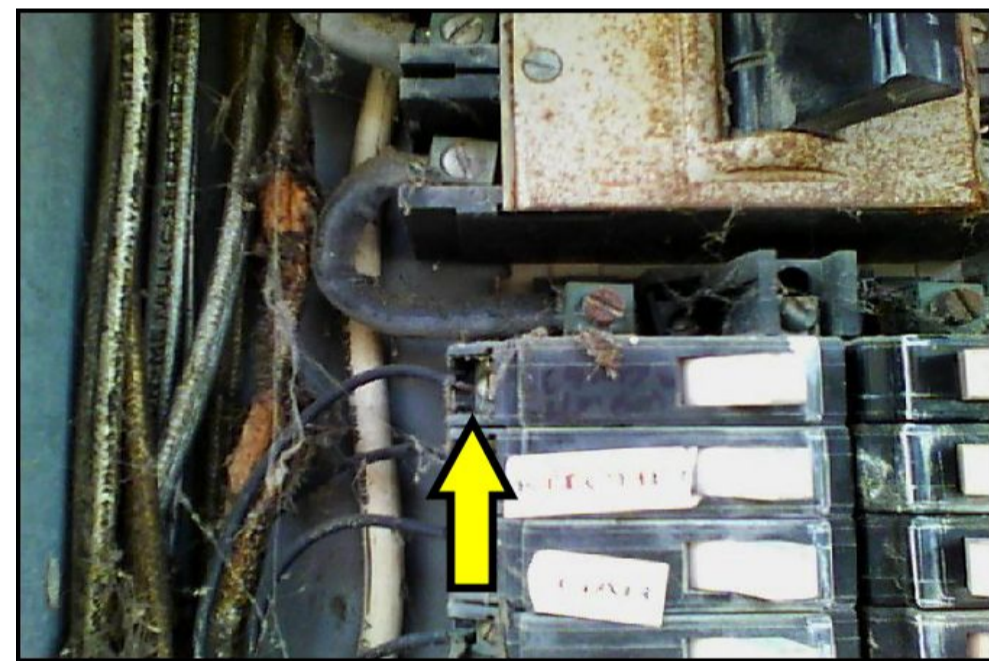
INFORMATIONAL 8.1. Electrical service capacity to the structure is 120/240 volt (3 wire) and enters the structure via underground conduit.

SATISFACTORY 8.2. The visible portions of the utility company's electrical lines that enter the structure from the street are in satisfactory condition.

Main Panel

INFORMATIONAL 8.3. The premises are served by a circuit breaker style 100 amp panel. Location: the Right side of the structure.

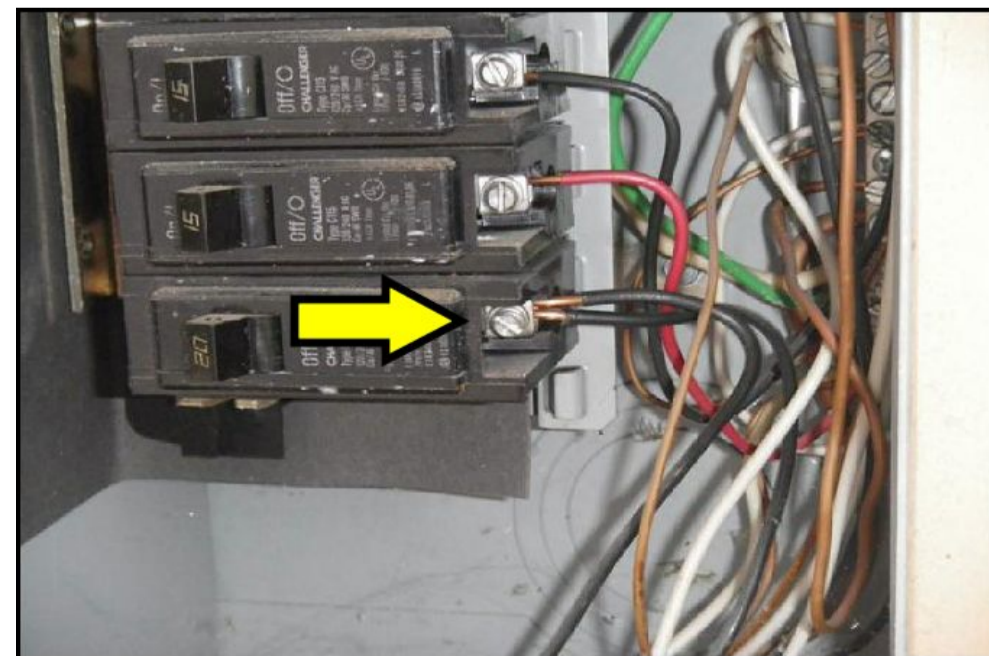
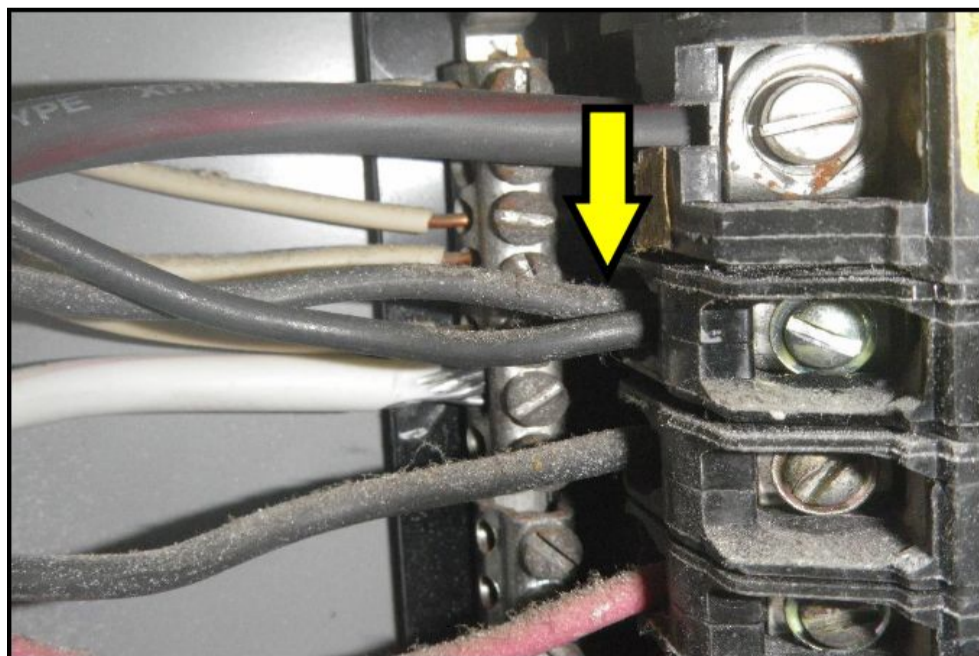
NEEDS ATTENTION 8.4. There is a circuit breaker in the electrical panel displaying an unusual temperature difference in the viewfinder of the inspector's infrared camera (also known as a Thermal Imaging Camera). These cameras are able to detect areas where the surface temperature is unusually hotter than the surrounding breakers. One possible cause of this hotter temperature is defective wiring and/or a malfunctioning or improper circuit breaker. While the inspector cannot be 100% sure that this temperature anomaly is the result of a panel deficiency, we recommend an electrician further evaluate the panel to rule out a potential electrical fire or safety hazard.



Sub-Panel

INFORMATIONAL 8.5. The sub-panel is a circuit breaker style panel located in the utility closet.

NEEDS ATTENTION 8.6. One or more of the circuit breakers in the main panel has doubled up wiring to it. This creates a potential fire hazard that should be corrected.



NEEDS ATTENTION 8.7. The sub-panel did not have labels for each circuit breaker (identifies wiring/outlets protected by the circuit breaker).

HEATING & COOLING

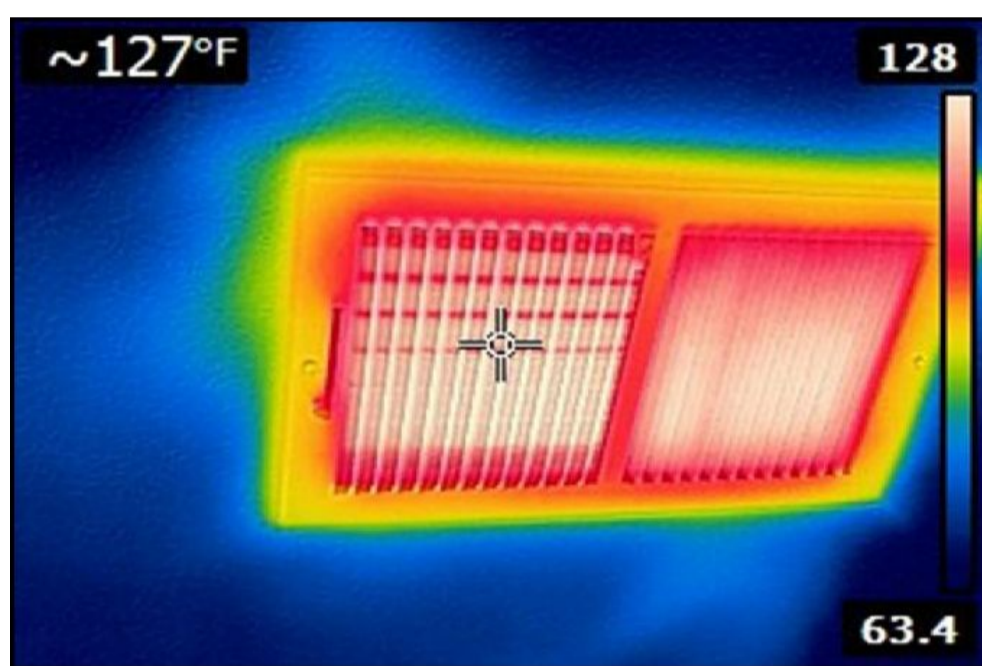
The following are outside the scope of the inspection: adequacy/efficiency of the HVAC system & air distribution for home or room size * heat exchangers * testing for other than the presence of heated and/or cooled air exiting the wall and ceiling vents * lighting of pilot lights or operating gas valves * wireless thermostats * termination point of A/C condensate lines * removal of vent/register grills to inspect interior of vent/ducts/flues * computing required combustible air space * window-portable A/C units * solar, water & renewable energy source systems.

HEATING SYSTEM

General Information

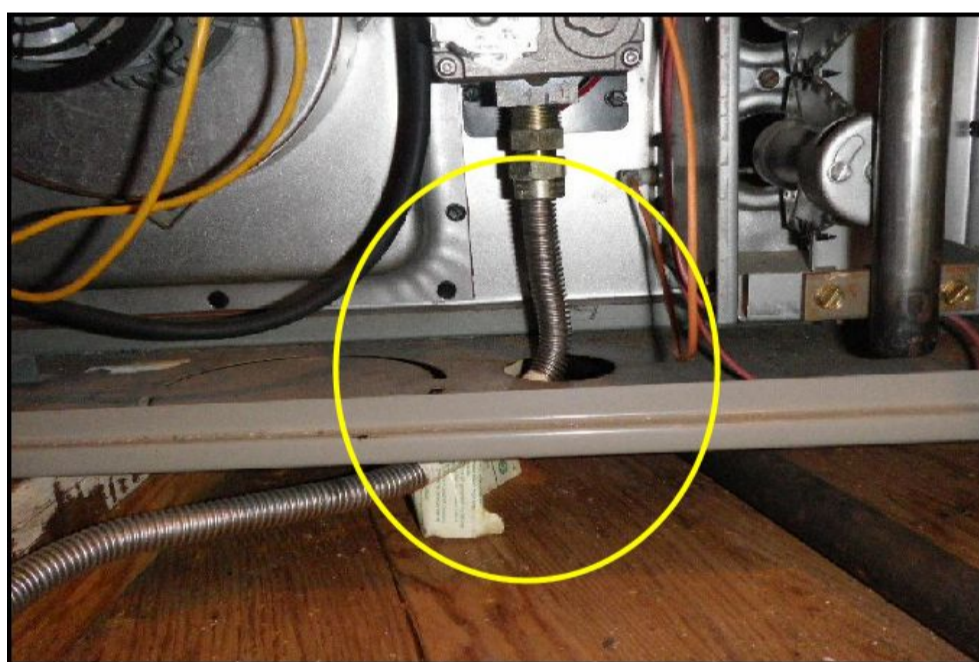
INFORMATIONAL 9.1. The structure is heated by a gas fired forced air unit (FAU). Location: the attic.

INFORMATIONAL 9.2. Using a thermal imaging camera, the following readings were taken while the heating system was in operation: Temperature at Return: 64 degrees. Temperature at Register: 127 degrees. The heater appears to be operating properly.

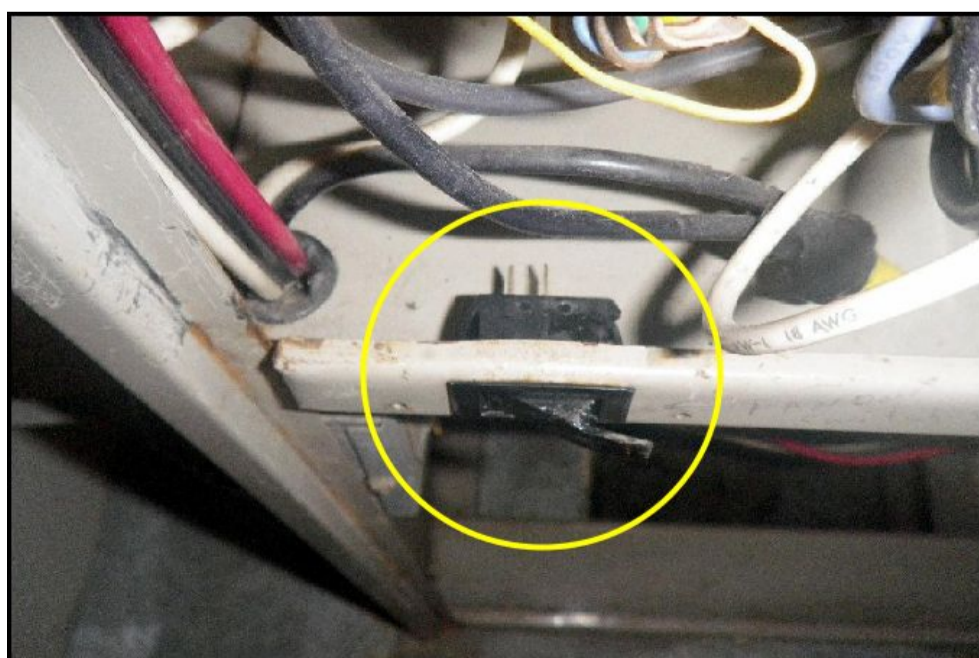


Heater Components

NEEDS ATTENTION 9.3. The use of a flexible gas line is improper and will need to be replaced with rigid black pipe.



NEEDS ATTENTION 9.4. The heating unit (FAU) has a faulty access panel door safety switch (disconnected). This furnace door switch prevents the fan and burner from coming on while the access panel is removed. We recommend further evaluation of the unit by an HVAC technician for repair options and costs.



Vents & Venting

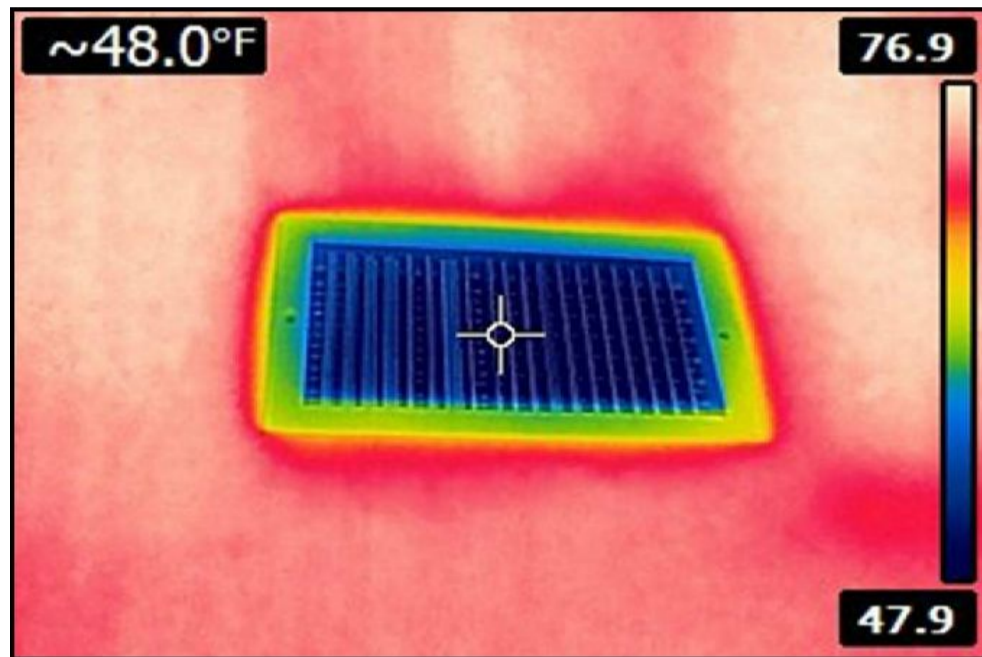
SATISFACTORY 9.5. The venting of the heater was found to be satisfactory.

COOLING SYSTEM

Air Conditioner

INFORMATIONAL 9.6. The air conditioning unit for the premises is provided by a central air conditioner which is located at the exterior.

INFORMATIONAL 9.7. Using an infrared handheld thermometer, the following readings were taken while the cooling system was in operation: Temperature at Return: 76 degrees. Temperature at Register: 48 degrees.



SATISFACTORY 9.8. At the time of the inspection, the cooling system appeared to be in satisfactory condition.

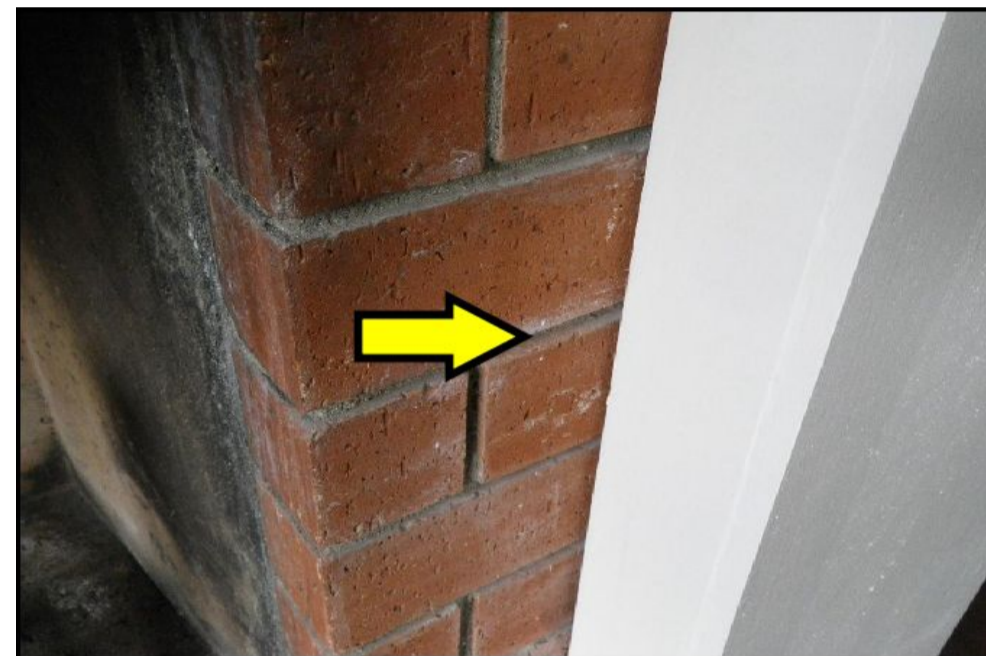
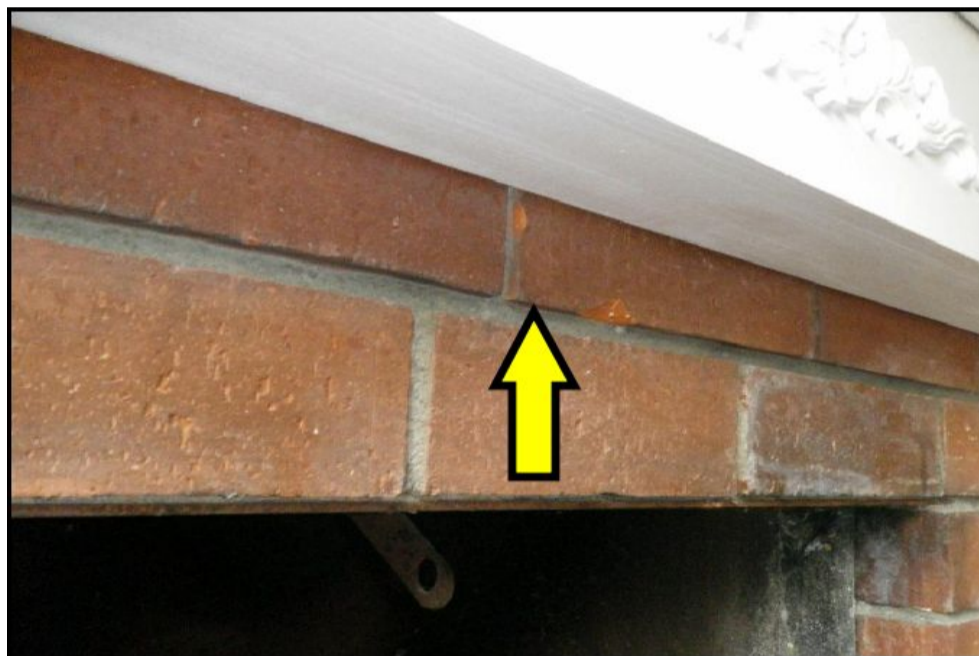
FIREPLACE(S)

The following are outside the scope of the inspection: ignition of gas logs or starters * operating gas shut off valves (to test for presence of gas or otherwise) * reporting on condition of components visually inaccessible or concealed from view by soot, the damper or other obstructions present. **Please note:** we recommend further evaluation by a licensed chimney contractor in any of the following cases: (i) reporting of a deficiency with the fireplace (ii) the fireplace fire box / flue is dirty or soot covered (iii) deficiencies of any nature with a pre-cast chimney/fireplace.

FIREPLACE - LIVING ROOM

General Comments

NEEDS ATTENTION 10.1. The required clearance from the opening of the fireplace to the wood frame and mantel is not met. Without the necessary clearances, heat can transfer through the fireplace to the wood frame and mantel. This is considered a potential fire hazard and we recommend you have this condition corrected.



NEEDS ATTENTION 10.2. There is a gap around the hole where the gas supply pipe enters into the interior of the firebox. This gap should be sealed to prevent the passage of heated gases through this gap.



Gas Starter

SATISFACTORY 10.3. The fireplace's gas starter was found to be in satisfactory condition.

Flue / Liner

NEEDS ATTENTION 10.4. The flue and/or firebox of the chimney is dirty and in need of cleaning. Note: this condition inhibits a thorough visual inspection of the chimney interior components - consequently, we recommend re-inspection of chimney by a fireplace/chimney specialist after cleaning.

Damper

SATISFACTORY 10.5. The damper is in satisfactory condition.

Hearth / Mantle/ Doors

NEEDS ATTENTION 10.6. The fireplace glass doors need to be serviced to open and close properly.

INTERIOR ROOMS

The following are outside the scope of the inspection: moving personal property, furniture, blinds, window and floor coverings which obstruct or curtail visual access * reporting cosmetic deficiencies and normal wear & tear * determining condition of dual glazed/double pane windows (varying conditions such as weather, lighting, dirty surfaces, etc., inhibits our ability to accurately report the condition of these windows) * operating security bar release mechanisms * asbestos, radon, lead, "Chinese" drywall * product recalls * permit status of any improvements.

ENTRY

General Comments

INFORMATIONAL 11.1. All visible components and systems of the Entry Way were inspected (**Floor, Walls, Ceiling, Electrical, Fixtures, Windows, Doors, Doorbell, and Cabinets & Closet if present**) and found to be **in satisfactory condition with the exception of the items listed below.**

Doors

NEEDS ATTENTION 11.2. The door's deadbolt is keyed on the interior side of the door instead of having a non-keyed latch to open the door. This is a potential safety hazard during a fire should occupants be unable to exit the residence because the key is not in the deadbolt.



Doorbell

NEEDS ATTENTION 11.3. The door bell is not working. This should be evaluated by an electrician.

LIVING ROOM

General Comments

INFORMATIONAL 11.4. All visible components and systems of the Living Room were inspected (**Floor, Walls, Ceiling, Electrical, Fixtures, Windows, Doors, and Cabinets & Closet if present**) and found to be **in satisfactory condition with the exception of the items listed below.**

Electrical

NEEDS ATTENTION 11.5. There is an outlet on the left wall that is ungrounded. We recommend that all outlets be properly grounded as required for safety.

FAMILY ROOM

General Comments

SATISFACTORY 11.6. Where present, the following visually accessible components and provisions of the Family Room were inspected and found to be **in satisfactory condition: Floor; Walls; Ceiling; Windows; Doors; Electrical (outlets, switches, doorbell, lights), and Cabinets/Closet.**

DEN

General Comments

SATISFACTORY 11.7. Where present, the following visually accessible components and provisions of the Den were inspected and found to be **in satisfactory condition: Floor; Walls; Ceiling; Windows; Doors; Electrical (outlets, switches, doorbell, lights), and Cabinets/Closet.**

DINING ROOM

General Comments

INFORMATIONAL 11.8. All visible components and systems of the Dining Room were inspected (**Floor, Walls, Ceiling, Electrical, Fixtures, Windows, Doors, and Cabinets & Closet if present**) and found to be **in satisfactory condition with the exception of the items listed below.**

Windows

NEEDS ATTENTION 11.9. Damage to the screen for the window(s) of this room was observed (i.e. ripped and/or holes).



KITCHEN

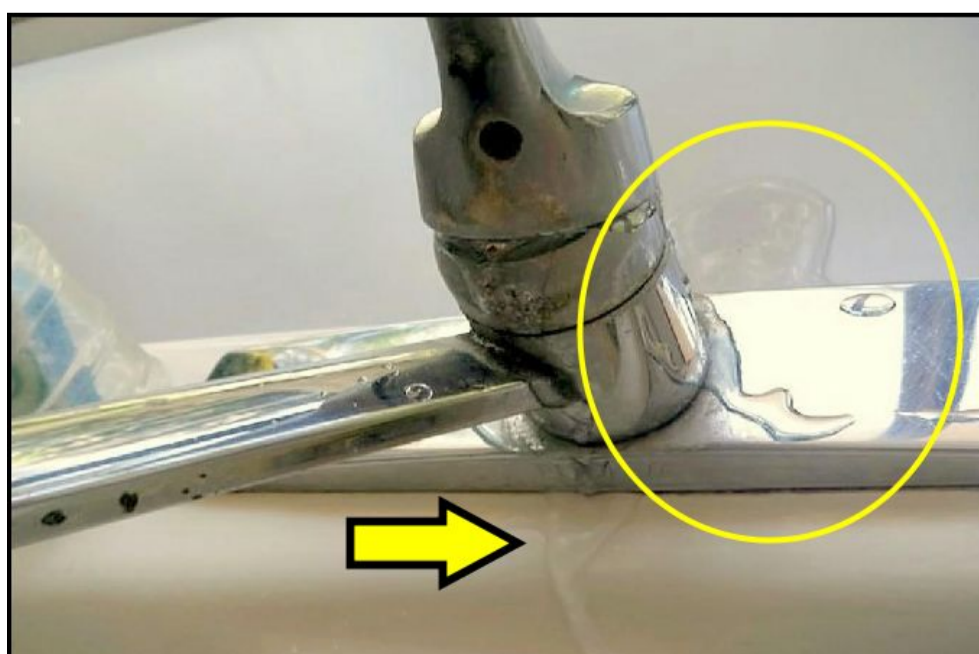
General Comments

INFORMATIONAL 11.10. The inspector will test the *built-in* Kitchen appliances to determine that they are functioning; but no determination is made as to how well they function. Note: The following appliances are excluded from the inspection: free standing appliances, refrigerators, hot water dispensers, freezers, ice makers, water treatments systems, thermostats, portable dishwashers and operational status of trash compactors.

INFORMATIONAL 11.11. All visible components and systems of the Kitchen were inspected (**Floor, Walls, Ceiling, Electrical, Appliances, Cabinets, Plumbing Fixtures, Windows, Doors**) and found to be **in satisfactory condition with the exception of the items listed below.**

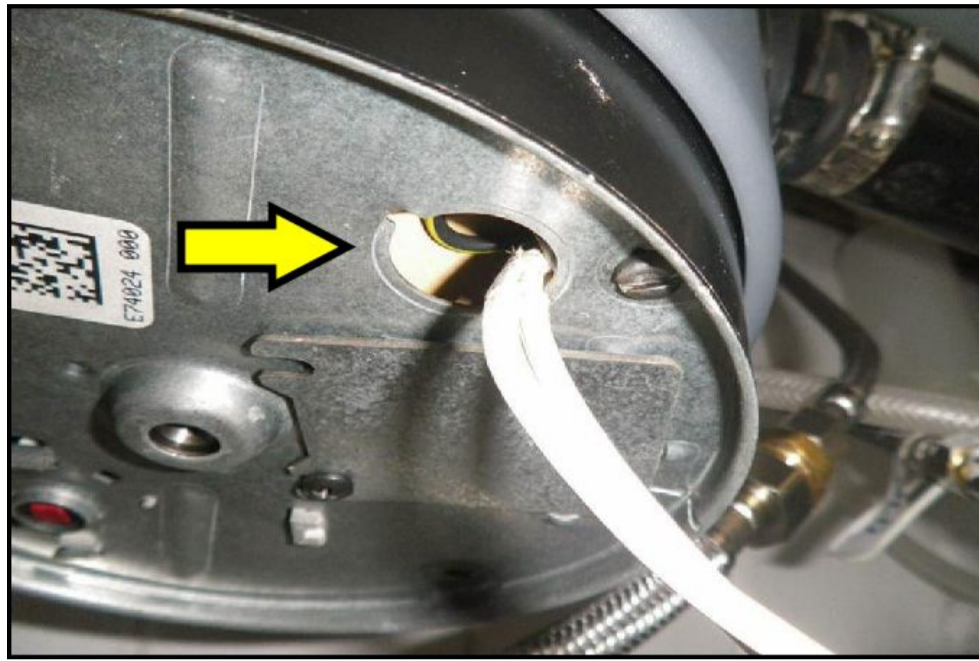
Sinks and Faucets

NEEDS ATTENTION 11.12. The sink faucet was observed to be leaking. around the faucet swivel arm as well as under the base plate.



Garbage Disposal

NEEDS ATTENTION 11.13. The garbage disposal is improperly wired in that there is no bushing or clamp installed where the electrical line enters the garbage disposal.



Hood / Fan / Vent

NEEDS ATTENTION 11.14. The hood's exhaust/vent pipe is not connected. We recommend correction of this to ensure proper venting of the stove top/range.



HALLWAY

General Comments

SATISFACTORY 11.15. Where present, the following visually accessible components and provisions of the Hallway were inspected and found to be **in satisfactory condition**: **Floor; Walls; Ceiling; Windows; Doors; Electrical (outlets, switches, doorbell, lights), and Cabinets/Closet.**

Smoke Detector

SATISFACTORY 11.16. There is a working smoke detector installed in the hallway.

Carbon Monoxide Detector

SATISFACTORY 11.17. There is a carbon monoxide detector in the 1st floor hallway. This meets the requirement that a carbon monoxide detector be installed in the bedroom hallway(s) and on all floors having a gas fired appliance and/or an attached garage.

2ND FLOOR HALLWAY

General Comments

INFORMATIONAL 11.18. All visible components and systems of the 2nd Floor Hallway were inspected (**Floor, Walls, Ceiling, Electrical, Fixtures, Windows, Doors, and Cabinets & Closet if present**) and found to be **in satisfactory condition with the exception of the items listed below.**

Smoke Detector

SATISFACTORY 11.19. There is a working smoke detector installed in the hallway.

NEEDS ATTENTION 11.20. The smoke detector was missing a battery.



STAIRS

1st - 2nd Floor Staircase

NEEDS ATTENTION 11.21. The balusters in the stair guardrail are more than four inches apart and are not child safe. Although it may not have been a requirement at the time of construction, consideration should be given to a reduction in the width of these openings.



1ST FLOOR BEDROOMS

The following are outside the scope of the inspection: moving personal property, furniture, blinds, window and floor coverings which obstruct or curtail visual access * reporting cosmetic deficiencies and normal wear & tear * determining condition of dual glazed/double pane windows (varying conditions such as weather, lighting, dirty surfaces, etc., inhibits our ability to accurately report the condition of these windows) * operating security bar release mechanisms * asbestos, radon, lead, "Chinese" drywall * product recalls * permit status of any improvements.

LEFT BEDROOM

General Comments

SATISFACTORY 12.1. Where present, the following visually accessible components and provisions of this Bedroom were inspected and found to be **in satisfactory condition: Floor; Walls; Ceiling; Windows; Doors; Electrical (outlets, switches, doorbell, lights), and Cabinets/Closet.**

REAR BEDROOM

General Comments

INFORMATIONAL 12.2. All visible components and systems of this bedroom were inspected (**Floor, Walls, Ceiling, Electrical, Fixtures, Windows, Doors, and Cabinets & Closet if present**) and found to be **in satisfactory condition with the exception of the items listed below.**

Floor

NEEDS ATTENTION 12.3. A portion of the flooring was found to be water stained, indicating an existing or a previously repaired moisture intrusion problem. Further evaluation is recommended to determine the cause of this water staining.



Windows

NEEDS ATTENTION 12.4. The latching or locking hardware is missing for the window(s) of this room. Deficiency: window crank(s) missing.



Smoke Detector

NEEDS ATTENTION 12.5. There is no smoke detector in this bedroom. We recommend that smoke detectors be installed in all bedrooms for fire safety.

2ND FLOOR BEDROOMS

The following are outside the scope of the inspection: moving personal property, furniture, blinds, window and floor coverings which obstruct or curtail visual access * reporting cosmetic deficiencies and normal wear & tear * determining condition of dual glazed/double pane windows (varying conditions such as weather, lighting, dirty surfaces, etc., inhibits our ability to accurately report the condition of these windows) * operating security bar release mechanisms * asbestos, radon, lead, "Chinese" drywall * product recalls * permit status of any improvements.

MASTER BEDROOM

General Comments

INFORMATIONAL 13.1. All visible components and systems of this bedroom were inspected (**Floor, Walls, Ceiling, Electrical, Fixtures, Windows, Doors, and Cabinets & Closet if present**) and found to be **in satisfactory condition with the exception of the items listed below.**

Windows

NEEDS ATTENTION 13.2. The inspector observed bulging at the seal around the dual glazed window(s). This merits further evaluation as this condition may indicate need for repair or replacement of the window(s).



Smoke Detector

SATISFACTORY 13.3. A smoke detector is installed in this bedroom.

MIDDLE BEDROOM

General Comments

SATISFACTORY 13.4. Where present, the following visually accessible components and provisions of this Bedroom were inspected and found to be **in satisfactory condition: Floor; Walls; Ceiling; Windows; Doors; Electrical (outlets, switches, doorbell, lights), and Cabinets/Closet.**

Smoke Detector

SATISFACTORY 13.5. A smoke detector is installed in this bedroom.

LEFT REAR BEDROOM

General Comments

INFORMATIONAL 13.6. All visible components and systems of this bedroom were inspected (**Floor, Walls, Ceiling, Electrical, Fixtures, Windows, Doors, and Cabinets & Closet if present**) and found to be **in satisfactory condition with the exception of the items listed below.**

Walls

INFORMATIONAL 13.7. There is hairline cracking in the wall(s) of this room that does not appear to be structurally significant.

Ceiling

NEEDS ATTENTION 13.8. There are water stains at the ceiling in this room. Since the inspector is unable to determine the cause of this staining (e.g., plumbing leak; roof leak if roof is above this ceiling) or whether the cause of the staining has been remedied, we recommend further evaluation to rule out any possible moisture intrusion issues.



Smoke Detector

SATISFACTORY 13.9. A smoke detector is installed in this bedroom.

1ST FLOOR BATHROOMS

The following are outside the scope of the inspection: evaluation of steam showers and saunas * leak testing the shower pan * lifting or removing bathroom floor coverings (rugs, etc.) * operating any shutoff valves serving the toilet and sink(s) * evaluation of drains beyond confirming functional drainage at sink, trap and through adjacent drain line (not extending more than 5' from the fixture) * whether faucets/toilets are low flow.

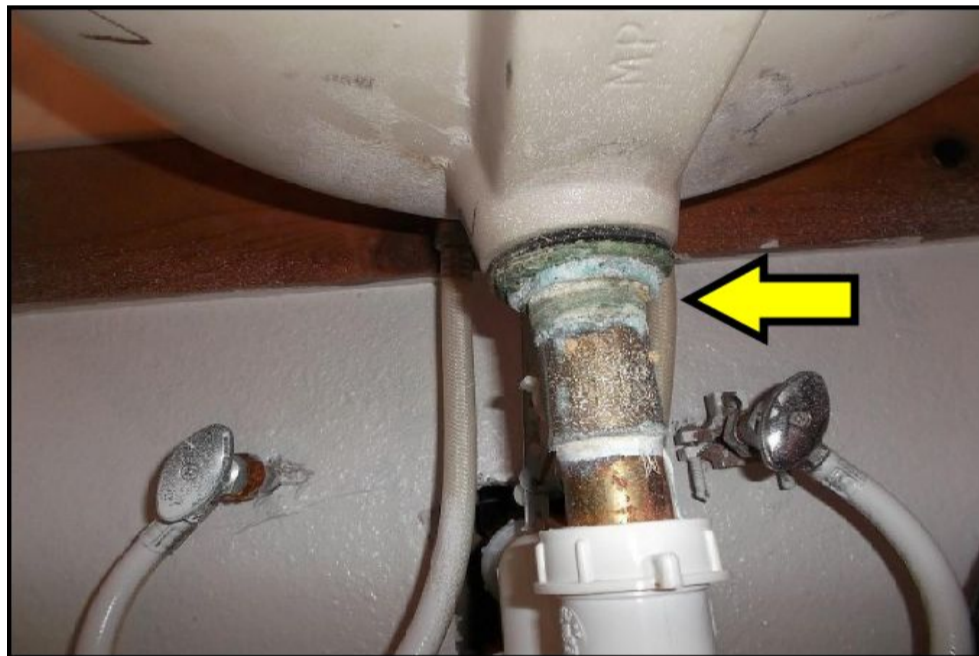
HALL BATHROOM

General Comments

INFORMATIONAL 14.1. All visible components and systems of this Bathroom were inspected [Windows; Doors; Electrical (outlets, switches, lights), Plumbing (fixtures, toilet, shower, bathtub), Exhaust Fans, and Cabinets and found to be **in satisfactory condition with the exception of the items listed below.**

Sink Drain / Water Supply

NEEDS ATTENTION 14.2. Corrosion was found at the water supply line(s) under the sink. Left uncorrected, these lines may eventually leak and lead to moisture intrusion problems (e.g., wood damage, mold).



Cabinet

NEEDS ATTENTION 14.3. One or more of the counter tiles are cracked or chipped.



Misc. Deficiencies

NEEDS ATTENTION 14.4. This bathroom does not have a vent supplying the room with heat and air. We recommend you consult with a heating and air conditioning contractor to ascertain if this is required and to obtain the cost to supply the room with circulating air.

2ND FLOOR BATHROOMS

The following are outside the scope of the inspection: evaluation of steam showers and saunas * leak testing the shower pan * lifting or removing bathroom floor coverings (rugs, etc.) * operating any shutoff valves serving the toilet and sink(s) * evaluation of drains beyond confirming functional drainage at sink, trap and through adjacent drain line (not extending more than 5' from the fixture) * whether faucets/toilets are low flow.

MASTER BATHROOM

General Comments

INFORMATIONAL 15.1. All visible components and systems of this Bathroom were inspected [Windows; Doors; Electrical (outlets, switches, lights), Plumbing (fixtures, toilet, shower, bathtub), Exhaust Fans, and Cabinets and found to be **in satisfactory condition with the exception of the items listed below.**

Ceiling

INFORMATIONAL 15.2. There are hairline cracks in the ceiling of this room that do not appear to be structurally significant.

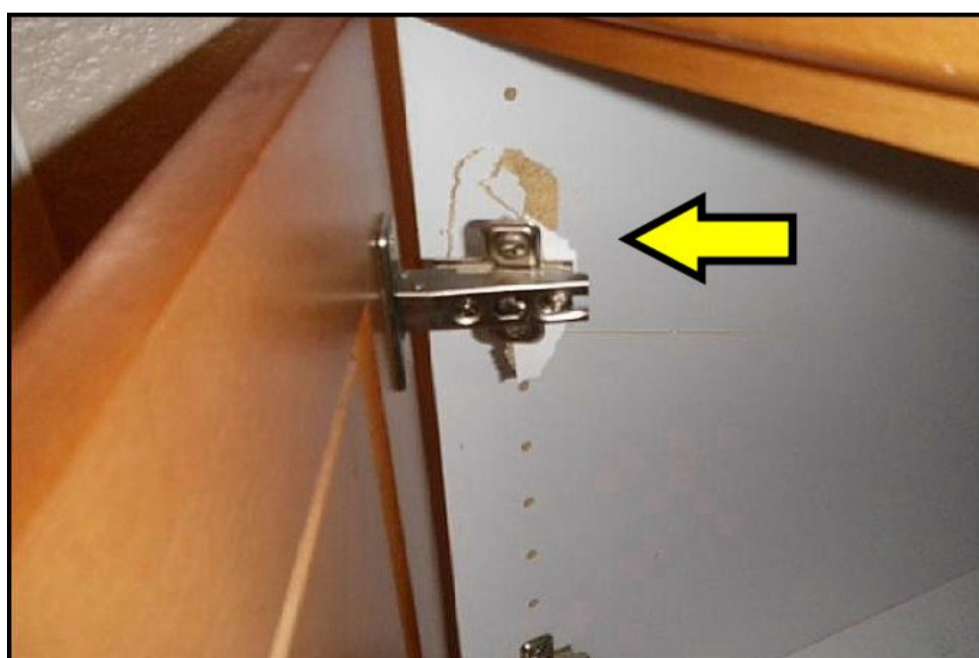
Sinks & Faucets

NEEDS ATTENTION 15.3. Low water flow was observed at the sink faucet. Typically, a defective faucet valve or a problem in the supply line to this fixture is the cause when low flow is not also observed in other fixtures of the house. Possible additional causes *if low flow is flagged in other bathrooms/kitchen:* outdated/aged plumbing lines; water regulator issues.



Cabinet

NEEDS ATTENTION 15.4. One of the bathroom cabinet doors has a damaged hinge and will need servicing.



MIDDLE BATHROOM

General Comments

SATISFACTORY 15.5. Where present, the following visually accessible components and provisions of this Bathroom were inspected and found to be **in satisfactory condition:** Floor; Walls; Ceiling; Windows; Doors; Electrical (outlets, switches, lights), Plumbing (fixtures, toilet, shower, bathtub), Exhaust Fans, and Cabinets.

REAR BATHROOM

General Comments

INFORMATIONAL 15.6. All visible components and systems of this Bathroom were inspected [Windows; Doors; Electrical (outlets, switches, lights), Plumbing (fixtures, toilet, shower, bathtub), Exhaust Fans, and Cabinets and found to be **in satisfactory condition with the exception of the items listed below.**

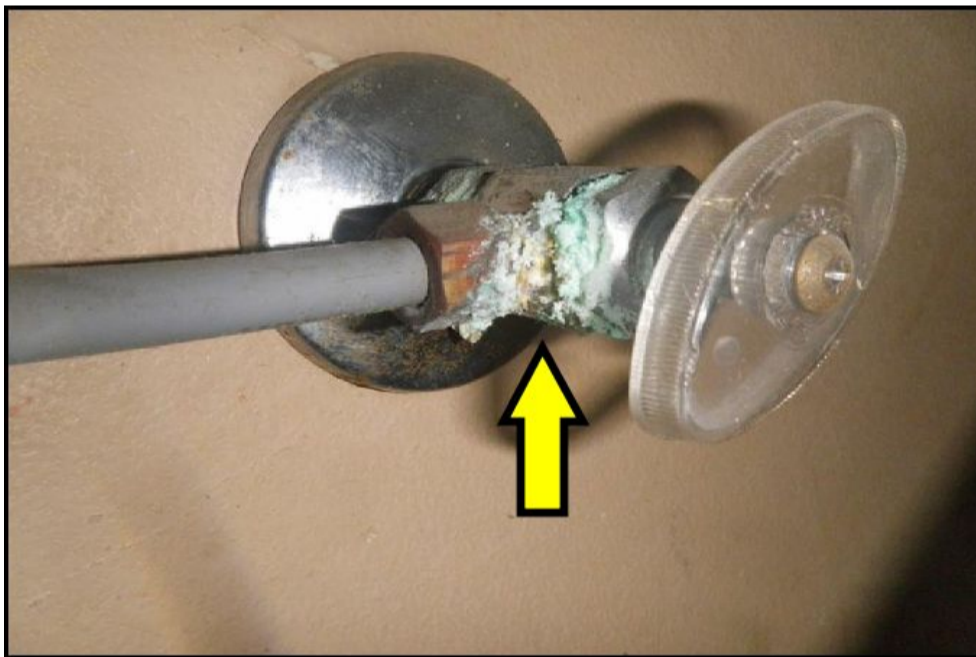
Electrical

NEEDS ATTENTION 15.7. There is exposed wiring in the bathroom that should be addressed by an electrician for electrical safety reasons.



Sink Drain / Water Supply

NEEDS ATTENTION 15.8. Corrosion was found at the water supply line(s) under the sink. Left uncorrected, these lines may eventually leak and lead to moisture intrusion problems (e.g., wood damage, mold).



MOLD ASSESSMENT

MOLD FINDINGS

No Visible Mold Observed

INFORMATIONAL 16.1. The inspector did not observe any mold growth during his inspection - a finding which incorporates the limitations, exceptions and exclusions of our mold assessment set forth in the Addendum to the Inspection Agreement. Among these limitations and exclusions is the following: a finding that no visible mold was found is not a guaranty, warranty or representation that the structure is mold free. [Note: If an existing or potential water intrusion issue has been flagged in this report, mold may exist in unobservable areas or develop after the inspection. All existing or potential water intrusion issues should be further evaluated prior to close of escrow to rule this out.

No Odor Suggestive of Mold

INFORMATIONAL 16.2. The inspector did not detect any odors suggestive of a mold condition. Please note the limitations of this finding: odors can vary in intensity and/or be masked depending upon numerous variables, including weather, time of day, temperature, air fresheners and household ambient odors present at the time of the inspection. Moreover, some people possess more sensitive "smell capabilities" than others. If, at any time prior to purchase you detected a musty type odor on the premises, or if you are aware of anyone who has expressed smelling such an odor, we recommend you obtain a mold clearance from a third party mold inspection company before purchase to rule out any existing or potential mold conditions.

Mold Clearance Recommended for Certain Individuals

INFORMATIONAL 16.3. The scope of the mold assessment performed by Countywide is less comprehensive than one performed by a company whose specialty is focused exclusively on mold inspections. Accordingly, for buyers who have a known high sensitivity to mold and/or suffer from medical conditions that are exacerbated or triggered by airborne mold spores, we recommend a mold assessment and mold clearance be obtained from a third party mold specialist prior to close of escrow. These companies typically perform an exhaustive, more comprehensive mold assessment than is offered by home inspectors (e.g., more extensive air / surface sampling; performing invasive testing).

IMPORTANT INFORMATION ABOUT OUR INSPECTION

TERMS GOVERNING THE INSPECTION

Inspection Agreement

INFORMATIONAL 17.1. Your inspection was performed subject to the terms of our Inspection Agreement, which can be reviewed by clicking here:

@(<http://countywideinspection.com/mold/Mold-Addendum-07-2017.pdf>)(*Our Agreement*)

Please review the Inspection Agreement carefully before you rely and act upon our inspection.

For a more comprehensive listing of what is - and is not - included as part of the inspection, you can visit our website and/or by clicking this link:

@(http://www.countywideinspection.com/inspection_services.htm)(*Scope of Inspection*)

Please be sure to call Countywide before purchase should you have any questions about the scope of the inspection or any of the findings set forth in the Inspection Report.

SUMMARY INSPECTION REPORT

This summary report is intended to provide the client and those individuals directly involved in this transaction a convenient and cursory preview of some of the conditions and components that we have identified within our report as being in need of further evaluation or service by an appropriately qualified specialist or that pose a potential health and safety risk. It is not intended to be comprehensive, and should not be used as a substitute for reading the entire home inspection report, or be viewed as a tacit endorsement of the condition of components or features that do not appear in this summary report.

**Clicking on the colored box will take you to the full narrative.

SECTION 1.0 - GROUNDS & BUILDING EXTERIOR

Driveway

NEEDS ATTENTION 1.1. Crack(s) in driveway - 1/16" or greater

Fencing and Gating

NEEDS ATTENTION 1.2. Rotted fence posts observed

Retaining and Yard Walls

NEEDS ATTENTION 1.3. Planter wall cracked / damaged or collapsed

Visual Grade

NEEDS ATTENTION 1.4. Planters trap and pond water

Exterior Siding and Walls

NEEDS ATTENTION 1.5. Stucco cracks - 1/16" or greater

NEEDS ATTENTION 1.6. Areas of stucco patching

Gutters / Fascia-Eaves

NEEDS ATTENTION 1.7. Downspouts terminate too close to foundation

Exterior Electrical

NEEDS ATTENTION 1.8. Exposed romex wiring

NEEDS ATTENTION 1.9. Improper conduit and/or connectors

NEEDS ATTENTION 1.10. No GFCI protection at the outlet(s)

Decks and Balconies

NEEDS ATTENTION 1.11. Deck / balcony framing deficient

NEEDS ATTENTION 1.12. Railing too low / openings > 4" (or missing)

NEEDS ATTENTION 1.13. Exposed romex wiring

SECTION 2.0 - FOUNDATION

General Crawl Space Findings

NEEDS ATTENTION 2.1. Efflorescence on concrete foundation stem wall or soils

Wood Framing and Supports

NEEDS ATTENTION 2.2. Posts-Piers not strapped

Electrical in Crawl Space

NEEDS ATTENTION 2.3. Open junction box(es)

SECTION 3.0 - ROOF

Sloped Roof

NEEDS ATTENTION 3.1. Missing and cracked shingles (or shakes)

Skylights

NEEDS ATTENTION 3.2. Skylight installation sub-standard

SECTION 4.0 - ATTIC

Attic Framing

NEEDS ATTENTION 4.1. Moisture stains on underside of roof or wood framing

Attic Wiring

NEEDS ATTENTION 4.2. Open junction box(es) in attic needs cover

HVAC Ducts & Venting

NEEDS ATTENTION 4.3. Duct insulation missing or damaged

SECTION 5.0 - GARAGE OR PARKING STRUCTURE

Exposed Framing / Roof Underside

NEEDS ATTENTION 5.1. Water stains at underside of roof

Garage Doors and Windows

NEEDS ATTENTION 5.2. Door deficiencies

NEEDS ATTENTION 5.3. Window latch/lock in disrepair (or missing)

Garage Electrical

NEEDS ATTENTION 5.4. Overhead wiring spans open spaces or not secured

NEEDS ATTENTION 5.5. Outlet(s) - missing cover plate(s)

SECTION 6.0 - LAUNDRY

NEEDS ATTENTION 6.1. Sink drain line is corrugated plastic

NEEDS ATTENTION 6.2. No provisions to vent dryer to exterior

NEEDS ATTENTION 6.3. Thermal Anomaly Detected (Possible Moisture Intrusion)

SECTION 7.0 - PLUMBING

Water Heater

- NEEDS ATTENTION 7.1. Corrosion at water supply fittings (top of tank)
- NEEDS ATTENTION 7.2. T & P drain line improper material (flex/pvc)
- NEEDS ATTENTION 7.3. Vent pipe not securely fastened

SECTION 8.0 - ELECTRICAL

Main Panel

- NEEDS ATTENTION 8.1. Thermal Anomaly Detected (Poss. Electrical Panel Deficiency)

Sub-Panel

- NEEDS ATTENTION 8.2. Double wiring on circuit breakers
- NEEDS ATTENTION 8.3. Circuits not labeled on sub-panel

SECTION 9.0 - HEATING & COOLING

Heating System

- NEEDS ATTENTION 9.1. Improper use of flexible gas line
- NEEDS ATTENTION 9.2. Faulty access panel door safety switch

SECTION 10.0 - FIREPLACE(S)

Fireplace - Living Room

- NEEDS ATTENTION 10.1. Improper clearance from fireplace to combustibles
- NEEDS ATTENTION 10.2. Gap at hole for gas pipe
- NEEDS ATTENTION 10.3. Flue / liner needs cleaning
- NEEDS ATTENTION 10.4. Fireplace glass doors not functioning properly

SECTION 11.0 - INTERIOR ROOMS

Entry

- NEEDS ATTENTION 11.1. \ Double keyed deadbolt
- NEEDS ATTENTION 11.2. Door bell not working

Living Room

- NEEDS ATTENTION 11.3. Outlet not grounded

Dining Room

- NEEDS ATTENTION 11.4. \ Window screen damaged or missing

Kitchen

- NEEDS ATTENTION 11.5. Sink faucet is corroded and/or leaking
- NEEDS ATTENTION 11.6. Wiring deficiency - cable clamp/bushing needed
- NEEDS ATTENTION 11.7. Vent hood pipe not connected (or missing)

2nd Floor Hallway

- NEEDS ATTENTION** 11.8. Smoke detector missing battery

Stairs

- NEEDS ATTENTION** 11.9. Stair guardrail openings over four inches

SECTION 12.0 - 1ST FLOOR BEDROOMS

Rear Bedroom

- NEEDS ATTENTION** 12.1. Water stain(s) on flooring
NEEDS ATTENTION 12.2. Window has missing hardware (latch/lock)
NEEDS ATTENTION 12.3. **No smoke detector in bedroom

SECTION 13.0 - 2ND FLOOR BEDROOMS

Master Bedroom

- NEEDS ATTENTION** 13.1. Dual glaze window seals bulging

Left Rear Bedroom

- NEEDS ATTENTION** 13.2. Water stains evidencing moisture intrusion

SECTION 14.0 - 1ST FLOOR BATHROOMS

Hall Bathroom

- NEEDS ATTENTION** 14.1. Water supply line corroded at sink
NEEDS ATTENTION 14.2. Cracked or chipped tiles at counter
NEEDS ATTENTION 14.3. Inadequate air supply to room

SECTION 15.0 - 2ND FLOOR BATHROOMS

Master Bathroom

- NEEDS ATTENTION** 15.1. Sink faucet - low water flow
NEEDS ATTENTION 15.2. Cabinetry is damaged

Rear Bathroom

- NEEDS ATTENTION** 15.3. Exposed wiring in bathroom
NEEDS ATTENTION 15.4. Water supply line corroded at sink

SUMMARY OF DEFICIENCIES (BY TRADE)

DISCLAIMERS: (i) Assignment of a deficiency to a particular category is simply to relate the general nature of the deficiency - not the significance, urgency or cost to address the deficiency; (ii) The following categories and deficiencies are not listed in any order of priority; (iii) This is not a summary of all findings made by the inspector - for that, please refer to the Summary of Report and the Full Report; (iv) this Summary does not modify, negate or supersede any finding, admonition or recommendation made in the Full Report.

**Clicking on the number shown in parenthesis will take you to the full narrative.

MAINTENANCE / MISC. REPAIRS & SERVICING

- Garage Doors and Windows: Door deficiencies [\(5.6\)](#)
- Garage Doors and Windows: Window latch/lock in disrepair (or missing) [\(5.7\)](#)
- Garage Electrical: Outlet(s) - missing cover plate(s) [\(5.11\)](#)
- General Comments (Living Rm.): Gap at hole for gas pipe [\(10.2\)](#)
- Flue / Liner (Living Rm.): Flue / liner needs cleaning [\(10.4\)](#)
- Hearth / Mantle/ Doors (Living Rm.): Fireplace glass doors not functioning properly [\(10.6\)](#)
- Doors (Entry): \ Double keyed deadbolt [\(11.2\)](#)
- Doorbell (Entry): Door bell not working [\(11.3\)](#)
- Windows (Dining Rm.): \ Window screen damaged or missing [\(11.9\)](#)
- Hood / Fan / Vent (Kitchen): Vent hood pipe not connected (or missing) [\(11.14\)](#)
- Windows (Rear BedRm -1st Floor): Window has missing hardware (latch/lock) [\(12.4\)](#)
- Smoke Detector (RearBed Rm -1st Floor): **No smoke detector in bedroom [\(12.5\)](#)
- Cabinet(s) / Countertop(s) (Hall Bath -1st Floor): Cracked or chipped tiles at counter [\(14.3\)](#)
- Cabinet(s) / Countertop(s) (Master Bath -2nd Floor): Cabinetry is damaged [\(15.4\)](#)

GENERAL & OTHER CONTRACTORS - TRADES (Incl. Foundation, Pool & Fireplace)

- Fencing and Gating: Rotted fence posts observed [\(1.3\)](#)
- Gutters / Fascia-Eaves: Downspouts terminate too close to foundation [\(1.10\)](#)
- Decks and Balconies: Deck / balcony framing deficient [\(1.18\)](#)
- Decks and Balconies: Railing too low / openings > 4" (or missing) [\(1.19\)](#)
- Wood Framing and Supports: Posts-Piers not strapped [\(2.4\)](#)
- General Comments (Living Rm.): Improper clearance from fireplace to combustibles [\(10.1\)](#)
- 1st - 2nd Floor Staircase: Stair guardrail openings over four inches [\(11.21\)](#)

HVAC

- HVAC Ducts & Venting (Attic): Duct insulation missing or damaged [\(4.7\)](#)
- Heater Components: Improper use of flexible gas line [\(9.3\)](#)
- Heater Components: Faulty access panel door safety switch [\(9.4\)](#)
- Misc. Deficiencies (Hall Bath -1st Floor): Inadequate air supply to room [\(14.4\)](#)

PLUMBING

- Laundry Plumbing: Sink drain line is corrugated plastic [\(6.2\)](#)
- Gas Line - Venting - Dryer (Laundry): No provisions to vent dryer to exterior [\(6.4\)](#)
- Water Heater Components: Corrosion at water supply fittings (top of tank) [\(7.7\)](#)
- Water Heater Components: T & P drain line improper material (flex/pvc) [\(7.8\)](#)

Water Heater Venting: Vent pipe not securely fastened (7.9)
Sinks and Faucets (Kitchen): Sink faucet is corroded and/or leaking (11.12)
Sink Drain / Water Supply (Hall Bath -1st Floor): Water supply line corroded at sink (14.2)
Sinks & Faucets (Master Bath -2nd Floor): Sink faucet - low water flow (15.3)
Sink Drain / Water Supply (Rear Bath -2nd Floor): Water supply line corroded at sink (15.8)

ELECTRICAL

Exterior Electrical: Exposed romex wiring (1.12)
Exterior Electrical: Improper conduit and/or connectors (1.13)
Exterior Electrical: No GFCI protection at the outlet(s) (1.14)
Decks and Balconies: Exposed romex wiring (1.20)
Electrical in Crawl Space: Open junction box(es) (2.6)
Attic Wiring: Open junction box(es) in attic needs cover (4.6)
Garage Electrical: Overhead wiring spans open spaces or not secured (5.10)
Main Panel: Thermal Anomaly Detected (Poss. Electrical Panel Deficiency) (8.4)
Sub-Panel: Circuits not labled on sub-panel (8.7)
Electrical (Liv. Rm.): Outlet not grounded (11.5)
Garbage Disposal (Kitchen): Wiring deficiency - cable clamp/bushing needed (11.13)
Electrical (Rear Bath -2nd Floor): Exposed wiring in bathroom (15.7)

ROOFING

Sloped Roof : Missing and cracked shingles (or shakes) (3.4)
Skylights: Skylight installation sub-standard (3.6)
Exposed Framing / Roof Underside (Garage): Water stains at underside of roof (5.2)

EVALUATE - ADDRESS IF WARRANTED

Driveway: Crack(s) in driveway - 1/16" or greater (1.1)
Retaining and Yard Walls: Planter wall cracked / damaged or collapsed (1.4)
Visual Grade: Planters trap and pond water (1.6)
Exterior Siding and Walls: Stucco cracks - 1/16" or greater (1.7)
Exterior Siding and Walls: Areas of stucco patching (1.8)
General Crawl Space Findings : Efflorescence on concrete foundation stem wall or soils (2.2)
Attic Framing: Moisture stains on underside of roof or wood framing (4.2)
Miscellaneous Laundry Findings: Thermal Anomaly Detected (Possible Moisture Intrusion) (6.5)
Floor (Rear Bed Rm -1st Floor): Water stain(s) on flooring (12.3)
Windows (Master BedRm -2nd Floor): Dual glaze window seals bulging (13.2)
Ceiling (Lft Rear BedRm -2nd Floor): Water stains evidencing moisture intrusion (13.8)